



GARAGE/ACCESSORY BLDG PERMIT

2801 89th Street, Sturtevant, Wisconsin 53177

DATE: _____ PERMIT NO: _____ TAX KEY NO: _____

OWNER'S NAME: _____ PHONE NUMBER: _____

JOB SITE ADDRESS: _____

Permit Plan Review: - \$70.00 (required if over 120 sq ft)

Permit Fee: -Accessory Building - \$0.30 / Sq. Ft (Minimum Permit Fee- \$35.00)

- Detached Garage - \$0.30 / Sq. Ft (Minimum Permit Fee- \$35.00)

- Attached Garage- \$0.50 / Sq. Ft (Minimum Permit Fee- \$35.00)

DESCRIPTION: Garage _____ Attached _____ Detached _____ Shed _____

Garage/Shed Size: _____ Wide by _____ Length Height: _____

Type of Material: _____ Roof Material _____ Installing Electric? Yes No

- ATTACH DETAILED PLANS WITH ALL PERTINIENT DIMENSIONS
- ATTACH ELECTRICAL PERMIT IF SUPPLYING ELECTRIC TO GARAGE/SHED
- SITE PLAN OR SURVEY PLOT ATTACHED DEPICTING LOCATION OF GARAGE/ SHED
- READ ORDINANCE 17.14 AND 14.20 FOR BUILDING CODE REQUIREMENTS

*ESTIMATED COST: \$ _____

RE-INSPECTION FEE: \$175.00

ALL FEES EFFECTIVE JANUARY - 2014

Call: 262.346.4575 or email: waukeshainspections@safebuilt.com for inspections

CONTRACTORS NAME: _____ PHONE # _____ STREET: _____

CITY: _____ STATE: _____ ZIP CODE: _____

APPLICANT SIGNATURE: _____ DATE: _____

APPROVED BY: _____ DATE: _____

BUILDING INSPECTOR

It is hereby agreed between the undersigned (as owner or agent) and the Village of Sturtevant, that for and in consideration of the premises and of the permit for the execution of electrical installation for light, heat or power as above described, to be issued and granted by the inspector of buildings, that the work will be done in accordance with the descriptions set forth in this statement, and it is further agreed to alter or install same in strict compliance with the Ordinances of the Village of Sturtevant, with Wisconsin Statutes and Administrative Code, and to obey any and all lawful orders of the Electrical Inspector of the Village of Sturtevant. This permit will grant only two trips with one re-inspection for rough, final, and building service if needed. Additional trips, when needed, will be billed as re-inspection fees per trip. To schedule inspections call (262) 346.4575 or email: waukeshainspections@safebuilt.com



Garage/Shed Permit Application Procedures

Plans, Survey and Permit App May be sent by E-Mail

1. **Provide two copies of a plat of survey or a measured drawing that includes:**

The location of the structure in relation to property lines and to other structures on the lot

- a. For lots with an area greater than 108,900 sq. ft. (2 ½ acres) the owner may construct one accessory building of 4,135 sq. ft. or less and second accessory building of 865 sq. ft. or less. If installing only one accessory building, the owner may construct one accessory building of 5,000 sq. ft. or less. Accessory buildings in excess of 1,050 sq. ft. shall require a conditional use permit in accordance with Section 17.29 of the Village Zoning Code.
- b. For lots with an area of 65,341 sq. ft. (1 ½ acres) to 108,900 sq. ft. (2 ½ acres), the owner may construct one accessory building of 2,400 sq. ft. or less, and a second accessory building of 865 sq. ft. or less. If installing only one accessory building, the owner may construct one accessory building of 3,265 sq. ft. or less. Accessory buildings in excess of 1,050 sq. ft. shall require a conditional use permit in accordance with Section 17.29 of the Village Zoning Code.
- c. For lots with an area of 12,000 sq. ft. to 65,340 sq. ft. (1 ½ acres), the owner may construct one accessory building of 900 sq. ft. or less, and a second accessory building of 150 sq. ft. or less. If installing only one accessory building, the owner may construct a building of 1,050 sq. ft. or less.
- d. For lots with an area less than 12,000 sq. ft., the owner may construct one accessory building of 600 sq. ft. or less, and a second accessory building of 150 sq. ft. or less. If installing only one accessory building, the owner may construct a building of 750 sq. ft. or less.
- e. Notwithstanding the above subsections, accessory buildings shall not occupy more than 50% of the rear yard area.
- f. Accessory buildings shall not exceed 15 feet in height, as measured to the top of the roof ridge board from the surrounding ground elevation, except as may be necessary to accommodate a 6:12 standard pitched roof. No accessory building may be more than one story.
- g. Accessory buildings shall not be nearer than 8 feet to any lot line, except that buildings on or with respect to lots existing prior to the adoption of Ordinance 2003-32 (i.e., October 7, 2003) shall not be nearer than 4 feet to any lot line. Where a private garage has an entrance facing an alley, the entrance shall not be located nearer than 10 feet from the nearest alley line. Accessory buildings must comply with all setback requirements.
- h. The provisions of Section 17.18(2) relating to "home occupations" and home "professional office" shall apply to all accessory buildings in residential districts.
- i. No accessory building is allowed without a principal structure existing on the same lot.

Setback information can be obtained from the Village Engineer: 262-886-7202

2. **Provide two copies of a structural drawing (building plan) that includes:**

- i. An overhead view of the garage showing placement of doors, windows roof line and the overall garage size and shape.
- ii. A cross section of the garage slab / foundation, wall and roof construction
- iii. Header sizes and type / grade of lumber
- iv. If using trusses supply the truss calcs and layout (layout if available).

- v. If attached to a house show footing / foundation and depth below grade (min. 48" below grade).
 - vi. The Sturtevant "Accessory Structure Wall Section" may only be used as the Structural drawing for a garage or shed that has a slab on grade.
3. **Site review of the proposed building required:**
- i. The Sturtevant Engineering Department will need to inspect / review the property for compliance with Village Grading and Drainage regulations prior to issuing a Building Permit
 - ii. A Grading Plan may be required depending on site conditions
 - iii. A Road Opening Permit is required for anew driveways o Village Streets
 - iv. Engineering Information 262-886-7202
4. **Complete the Building Permit Application:**
- i. Property Owner's that apply for the permit fill out name, address, phone #, project value, signature / date & also sign the Cautionary Statement.
 - ii. Contractors that apply for the permit also fill out Contractor Information.
 - iii. The Building Inspectors will calculate permit fees.

New Building Inspection Services

January 1, 2021, SAFEbuilt will provide building inspection services for Sturtevant. Inspection requests require a 24-hour notice. Next day service is possible if you call by 4 p.m.

Call 262-346-4575 or
waukeshainspections@safebuilt.com.

Important SAFEbuilt Contacts:

Michael Moore, Building, Plumbing Inspector

mmoore@safebuilt.com, 262-202-4358

Brian Austin, Electrical Inspector

baustin@safebuilt.com, 262-328-7638

Kati Vokovitch, Business Admin Manager

kvokovitch@safebuilt.com, 262-955-3014

Dave Hendrix, Operations Manager

dhendrix@safebuilt.com, 262-202-2173

necessary for the structure to comply with applicable state or federal requirements.

- (6) If two or more abutting lots, any of which is nonconforming, are or come under common ownership, such nonconforming lots may not be sold separately from the abutting lots and shall be combined by the owner with any abutting conforming lot, or, if none, into one single lot, by use of a deed restriction or similar instrument, which shall be recorded in the office of the Racine County Register of Deeds Office. This subsection shall not apply if a habitable principal structure already exists on each such abutting lot.

17.09 PRIOR PERMITS EXCEPTED.

Nothing herein contained shall require any change in the plans, construction, size or designated use of any building or part thereof for which a building permit has been issued before the effective date of this chapter and the construction of which shall have been started within 6 months from the date of such permit and completed within 12 months of such date.

17.10 ACCESSORY BUILDINGS.

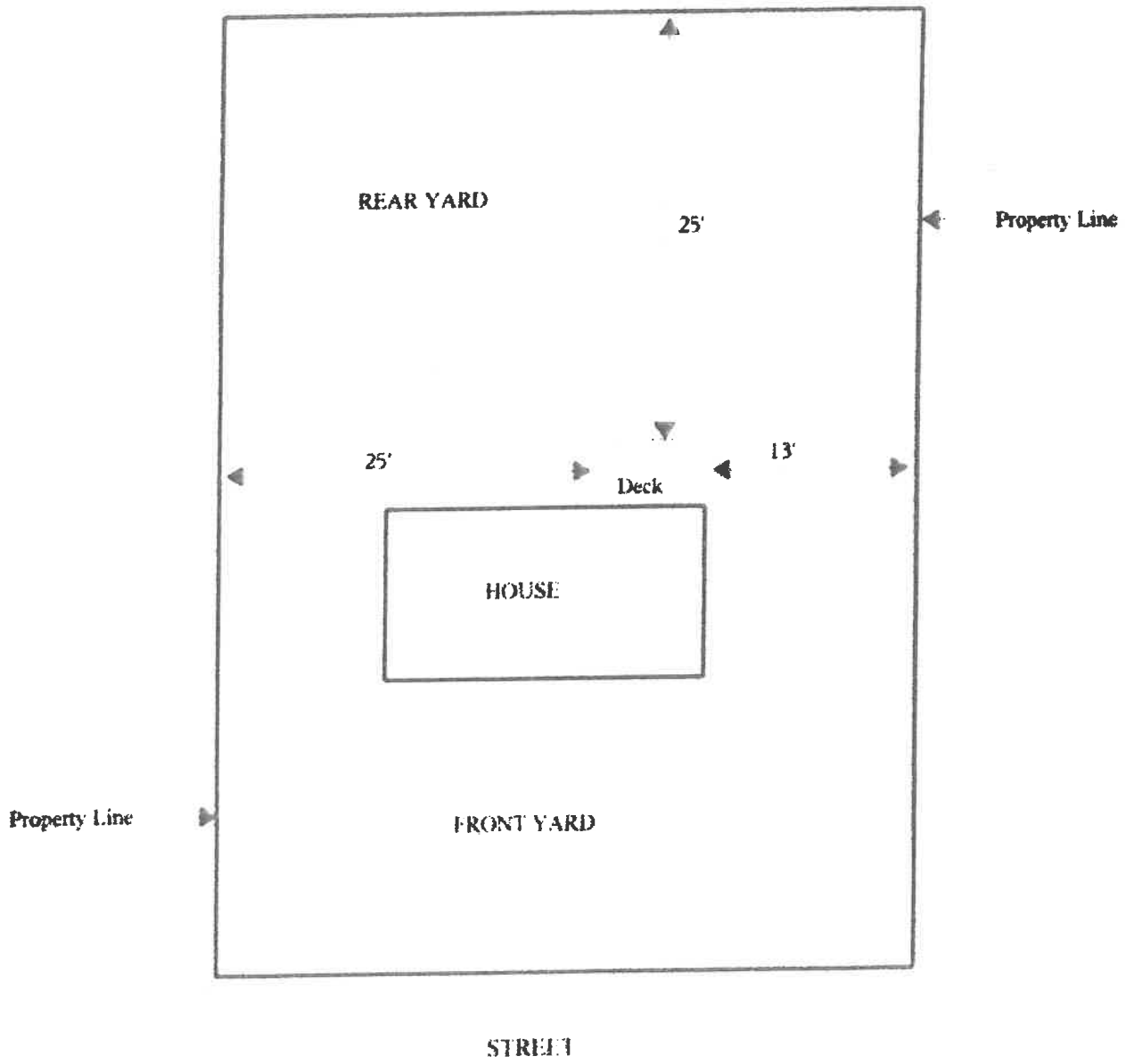
- (1) Accessory buildings in the Single-family and Two and Multiple Family Residential Districts which are not part of the principal structure shall comply with the following requirements. For purposes of this section, square footage shall mean the footprint of the accessory building.
 - (a) For lots with an area greater than 108,900 sq. ft. (2 ½ acres) the owner may construct one accessory building of 4,135 sq. ft. or less and a second accessory building of 865 sq. ft. or less. If installing only one accessory building, the owner may construct one accessory building of 5,000 sq. ft. or less. Accessory buildings in excess of 1,050 sq. ft. shall require a conditional use permit in accordance with Section 17.29 of the Village Zoning Code.
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- (c) For lots with an area of 12,000 sq. ft. to 65,340 sq. ft (1 ½ acres), the owner may construct one accessory building of 900 sq. ft. or less, and a second accessory building of 150 sq. ft. or less. If installing only one accessory building, the owner may construct a building of 1,050 sq. ft. or less.
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 - (e) Notwithstanding the above subsections, accessory buildings shall not occupy more than 50% of the rear yard area.
 - (f) Accessory buildings shall not exceed 15 feet in height, as measured to the top of the roof ridge board from the surrounding ground elevation, except as may be necessary to accommodate a 6:12 standard pitched roof. No accessory building may be more than one story.
 - (g) Accessory buildings shall not be nearer than 8 feet to any lot line, except that buildings on or with respect to lots existing prior to the adoption of Ordinance 2003-32 (i.e., October 7, 2003) shall not be nearer than 4 feet to any lot line. Where a private garage has an entrance facing an alley, the entrance shall not be located nearer than 10 feet from the nearest alley line. Accessory buildings must comply with all setback requirements.
 - (h) The provisions of Section 17.18(2) relating to “home occupations” and home “professional office” shall apply to all accessory buildings in residential districts.
 - (i) No accessory building is allowed without a principal structure existing on the same lot.
- (2) Non-Residential Accessory Building Restrictions. The number and size of accessory buildings allowed in non-residential districts shall be as permitted by the Plan Commission.

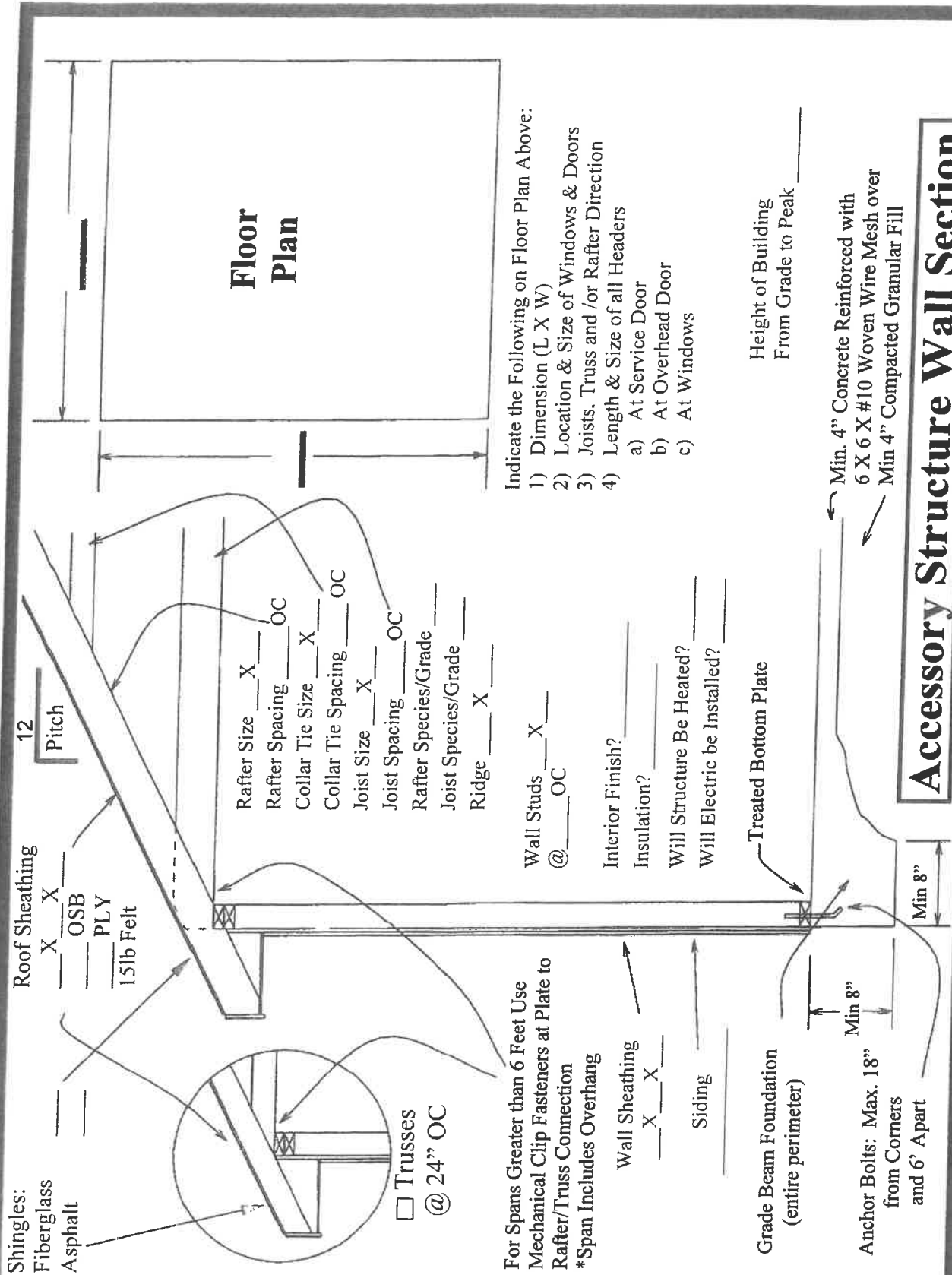
17.11 Reserved.

17.12 Reserved.

SAMPLE SITE PLAN



Applicant to provide all information in red



Shingles:
Fiberglass
Asphalt

Roof Sheathing
X X
OSB
PLY
15lb Felt

12
Pitch

Rafter Size X OC
Rafter Spacing X OC
Collar Tie Size X
Collar Tie Spacing X OC
Joist Size X
Joist Spacing X OC
Rafter Species/Grade
Joist Species/Grade
Ridge X

□ Trusses
@ 24" OC

For Spans Greater than 6 Feet Use
Mechanical Clip Fasteners at Plate to
Rafter/Truss Connection
*Span Includes Overhang

Wall Sheathing X X
Siding

Grade Beam Foundation
(entire perimeter)

Anchor Bolts: Max. 18"
from Corners
and 6' Apart

Wall Studs X
@ OC
Interior Finish?
Insulation?
Will Structure Be Heated?
Will Electric be Installed?

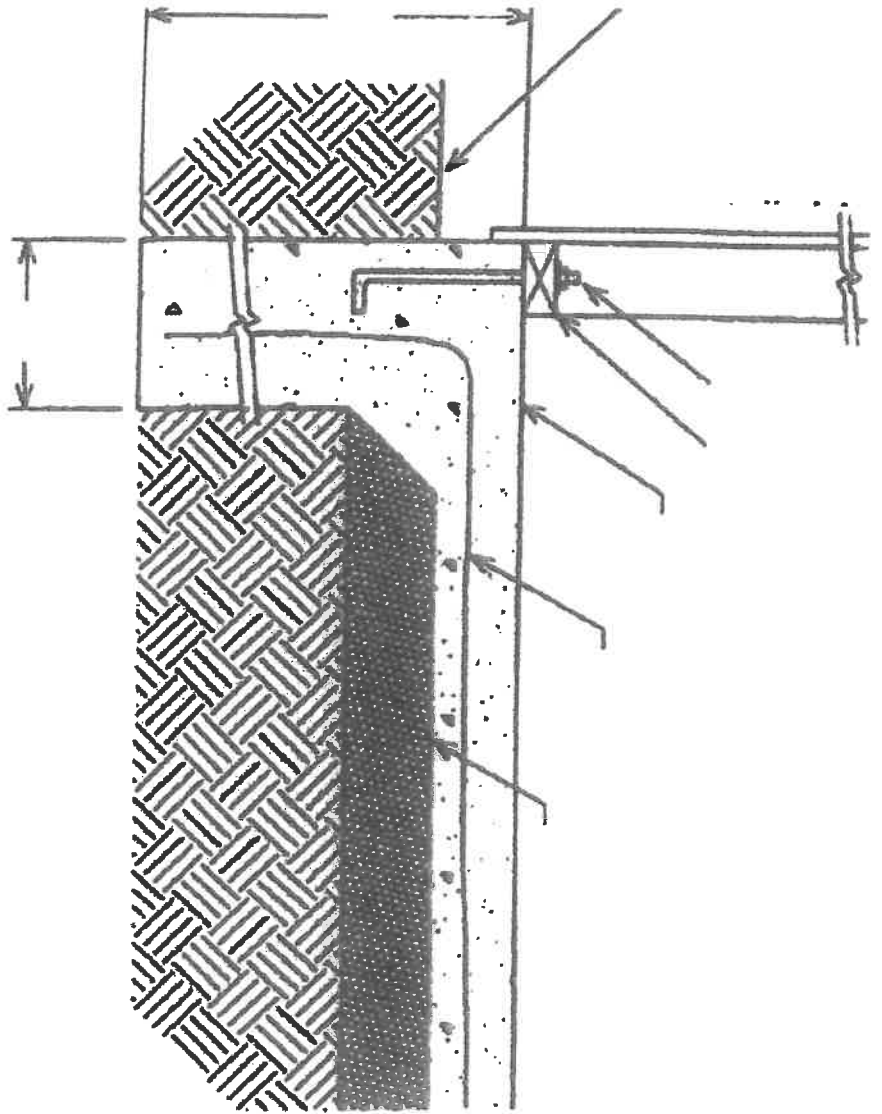
Treated Bottom Plate

Min. 4" Concrete Reinforced with
6 X 6 X #10 Woven Wire Mesh over
Min 4" Compacted Granular Fill

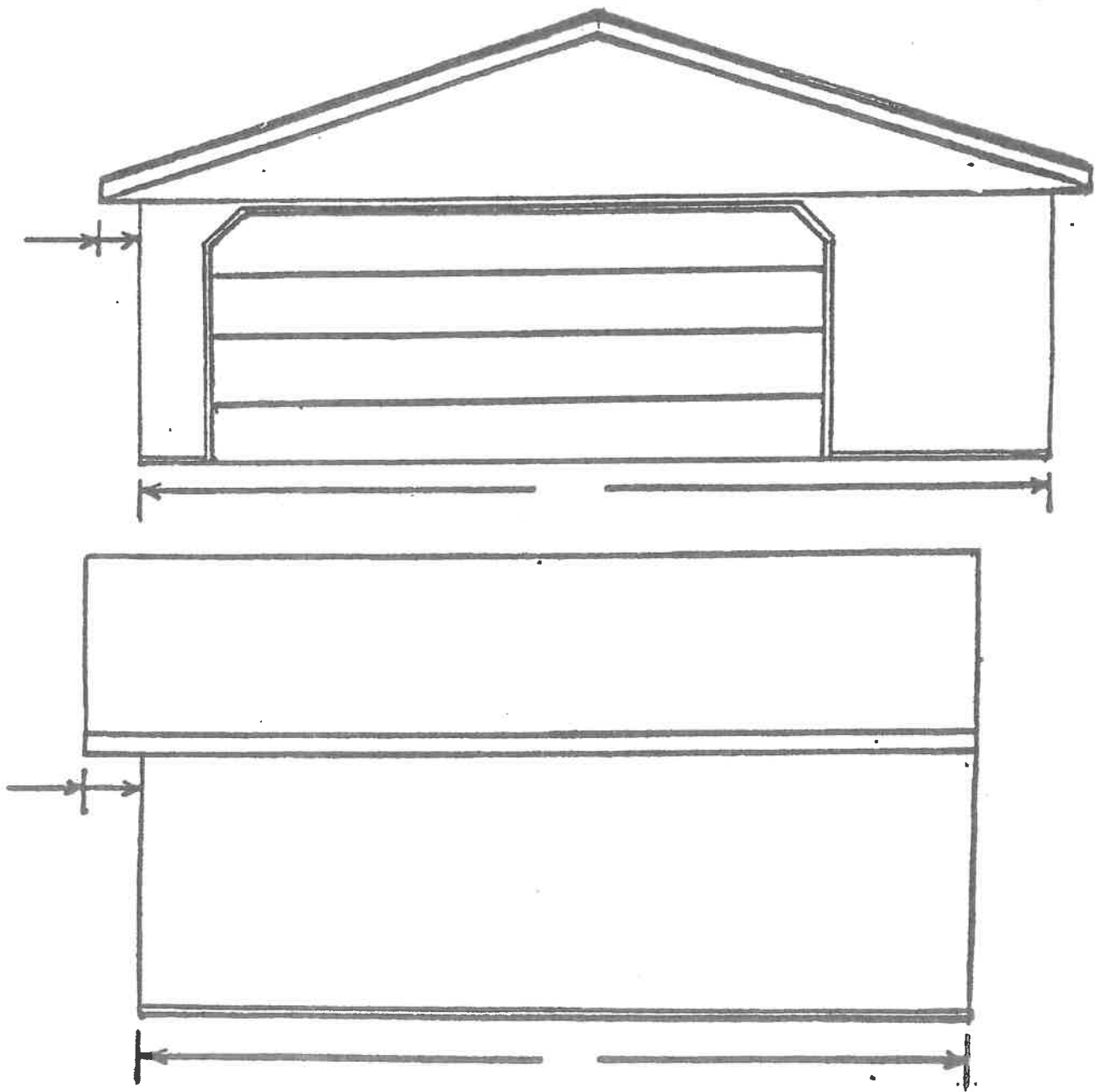
Height of Building
From Grade to Peak

- Indicate the Following on Floor Plan Above:
- 1) Dimension (L X W)
 - 2) Location & Size of Windows & Doors
 - 3) Joists, Truss and /or Rafter Direction
 - 4) Length & Size of all Headers
 - a) At Service Door
 - b) At Overhead Door
 - c) At Windows

Accessory Structure Wall Section



Slab Example



necessary for the structure to comply with applicable state or federal requirements.

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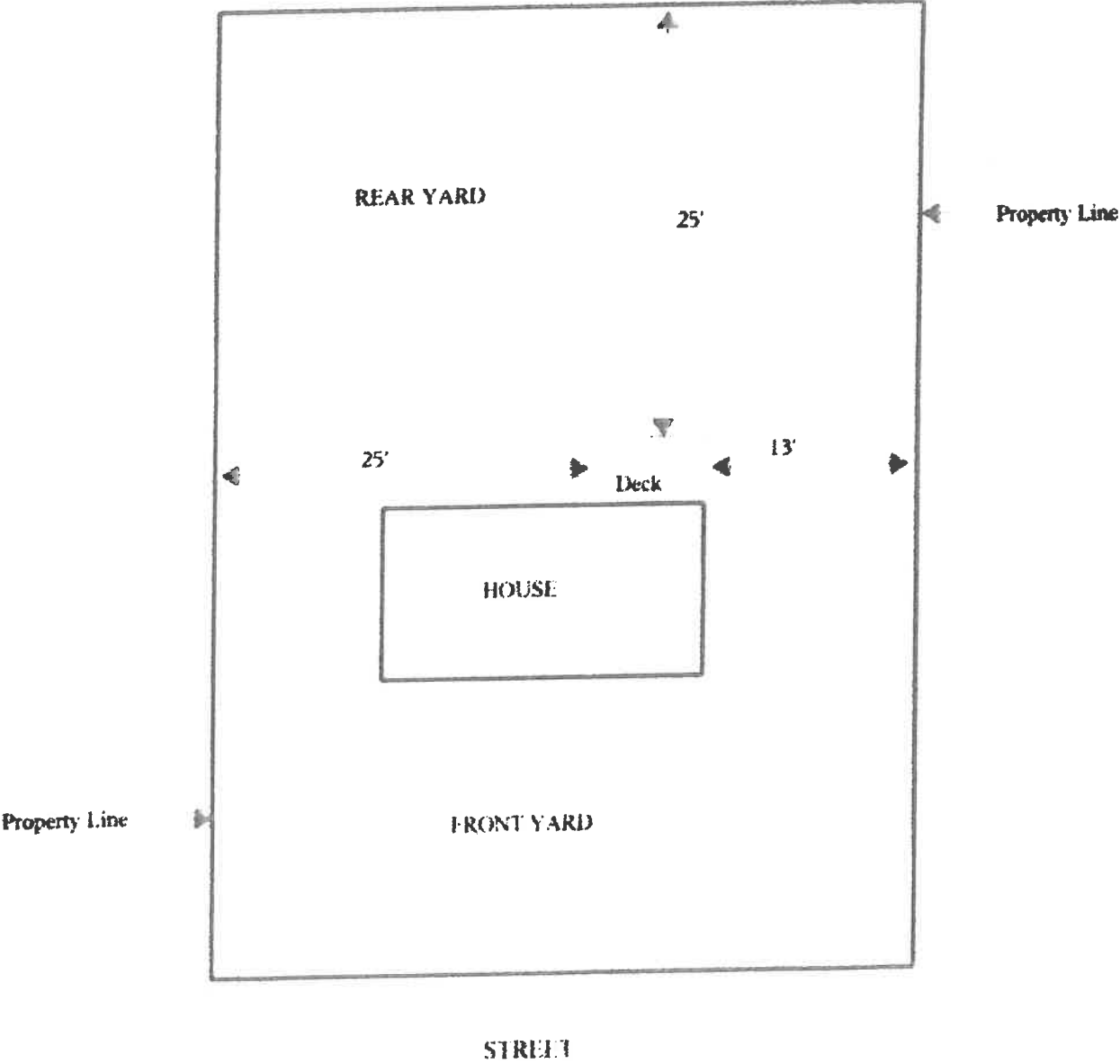
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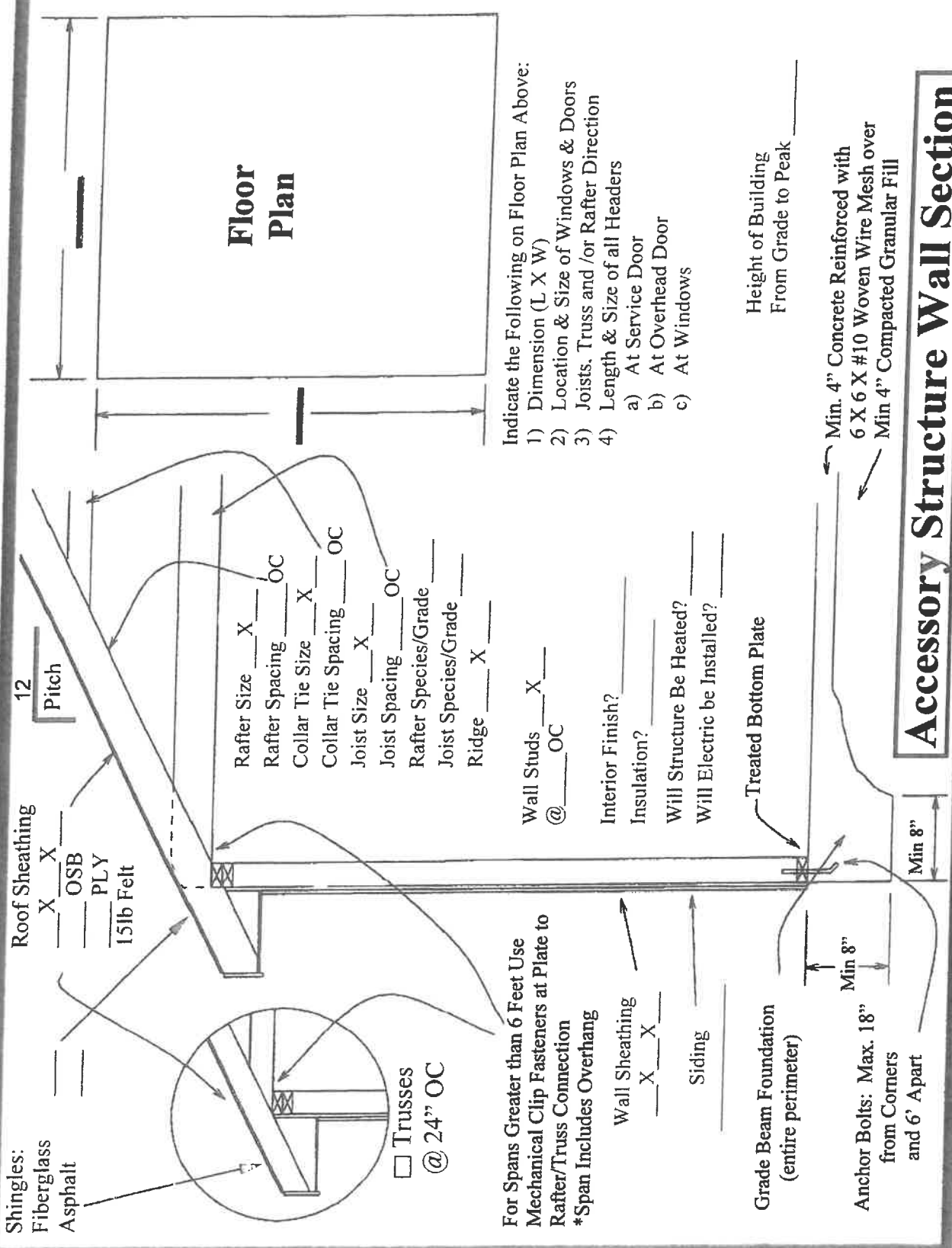
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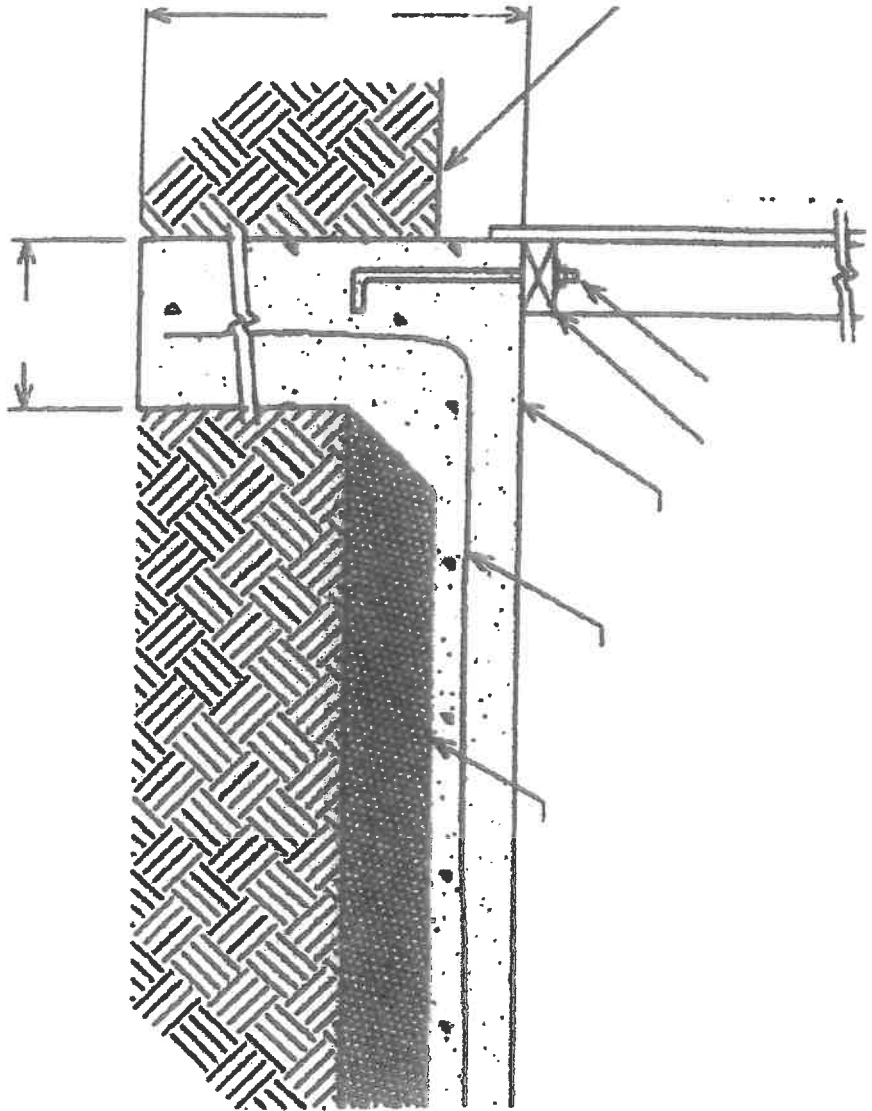
SAMPLE SITE PLAN



Applicant to provide all information in red



Accessory Structure Wall Section



Slab Example

